



Report of the Chief Planning Officer

CITY PLANS PANEL

Date: 23 August 2018

Subject: Applications 18/02735/FU and 18/02736/LI for a change of use of 4 retail units to a single A3 restaurant unit (including substantial facade restoration), the creation of a new circulation atrium to serve Opera North's Howard Assembly Room and supplementary internal alterations, the refurbishment of the existing Premier House office building, including facade re-modelling and the introduction of a new Education Suite at ground floor level, an associated linkage to, and two-storey extension of, the adjacent Linacre / Harewood studio within Premier House, at Opera North, the Grand Theatre, 46 New Briggate, Leeds, LS1 6NU.

APPLICANT

Opera North

DATE VALID

17 May 2018

TARGET DATE

30 August 2018

Electoral Wards Affected:

Little London & Woodhouse

Yes

Ward Members consulted
(referred to in report)

Specific Implications For:

Equality and Diversity

Community Cohesion

Narrowing the Gap

RECOMMENDATION: Defer and Delegate application 18/02735/FU to the Chief Planning Officer for approval, subject to the conditions at Appendix 1.

Defer and Delegate application 18/02736/LI to the Chief Planning Officer for approval, subject to the conditions at Appendix 1

Conditions

A list of draft Conditions for each application is provided in the Appendix to this report.

1.0 INTRODUCTION:

- 1.1 This is a joint report for planning permission (reference 18/02735/FU) and Listed Building Consent (reference 18/02736/LI) for a change of use and enhancement works to the Howard Assembly Room and the remodelling and enhancement of

Premier House, both of which are important performing arts buildings in the designated City Centre. The proposals are brought to City Plans Panel as the development involves major investment in Opera North, which is an important cultural destination within a key location in the boundary of Leeds City Centre.

2.0 PROPOSAL:

- 2.1 The proposed development seeks a change of use of the ground floor vacant former shop units from A1 retail units to one combined A3 restaurant, with internal alterations to the basement, ground floor and upper floors in the Howard Assembly Room of Opera North and an external terrace to the rear of the former shop units. In addition the proposal also involves an office refurbishment including facade re-modelling and two storey rehearsal studio extension to roof of existing 5 storey Premier House building, and the provision of ground floor education suite.
- 2.2 The principle changes for the Howard Assembly Room would result in the reconfiguration of the existing ground floor entrance lobby to Opera North's areas, such that new routes would be created inside the lobby area leading to the Assembly Room above as well as directly to the restaurant. In addition a new platform lift would be inserted into the lobby area. The proposals would also involve the reconfiguration of some internal first floor rooms including the removal of an existing storage room to create a new anti-space for patrons to utilise. The existing male artist WCs will be repositioned at stage level to allow the removed storage area to be relocated backstage. In addition a new disabled WC and a grand piano storage area would be created at first floor level. A new internal feature door is proposed at the existing main entrance within the building between Grand Theatre and Howard Assembly Room. This will involve the removal of an area of existing historic encaustic tiles in the interior of the existing entrance lobby. These removed tiles are to be retained and reused in a different location at the site.
- 2.3 The basement and ground floor to the former retail units within the Grade II* Listed Opera North building would also be altered, with the removal of internal walls and a section of flooring to create a new restaurant with partitioning for WCs, a cloakroom and a dumb waiter.
- 2.4 Externally the shopfronts to New Briggate would be reordered to create a series of large glazed windows. Some of which may double as openable doors, and all will be set in reinstated stone pilasters and red brick arches to echo the original façade of the building. The existing art deco stained glass panels above the current shopfronts is to be removed for these proposals. These are to be retained and reused as a feature within the scheme in a different area of the site.
- 2.5 It is also proposed to create an attractive, useable glass roofed atrium terrace space in the existing rear service yard, where the restaurant and its bar can spill out onto. This space would also connect through to the Assembly Room and Grand Theatre to allow the patrons of these two venues to use the break out areas. Rising through this atrium to meet the roof it is proposed to site a sculptural metal tree like feature which would address extract ducting requirements for the new restaurant use. Perforated metal cladding will be installed to sit in front of the most damaged areas of the southern service yard wall, to hide poor brickwork and existing retained pipework and extract plant
- 2.6 The proposals for Premier House would involve a refurbishment of the building, including a recladding of the facades and a two storey rehearsal studio extension to the roof of existing 5 storey building, with a mixture of punched and projecting

windows. In addition the proposal would create a ground floor education suite. The new cladding would be a high quality bronze rain screen panelling facing the main Harrison Street and rear service yard façades, with the upper areas of the new extension being brick to match the existing brickwork below. The proposal to introduce an education suite at ground floor level will allow the introduction of a significant area of new clear glazed windows facing Harrison Street

3.0 SITE AND SURROUNDINGS:

- 3.1 The site comprises the Grand Theatre and Opera North building with its main frontage to Briggate and its southern elevation returning on to Harrison Street, and the Premier House building which is located on the opposite side of Harrison Street, but physically linked to the Grand Theatre and Opera North building by a high level enclosed pedestrian bridge. The Grand Theatre and Opera North building is Grade II* Listed however Opera North only occupy the southern portion including the Howard Assembly Rooms. Premier House dates from the 1960s and is a modernist building of its time with a back street location and is not a Listed building.
- 3.2 The site is located within the defined City Centre but is not allocated for a specific use on the Local Development Framework Policies Map. The shop frontages to the New Briggate elevation of the Grand Theatre and Opera North building are currently part of a designated Secondary Shopping Frontage. This designation is proposed to be removed in the draft Site Allocations Plan.
- 3.3 Harrison Street is a one way link route with a steep incline from Vicar Lane to New Briggate. The site is within the boundary of the Grand Quarter Conservation Area and close to, but outside of the boundary of the City Centre Conservation Area. The site is also within the setting of the Grade II Listed St Johns Church, courtyard and railings.

4.0 RELEVANT PLANNING HISTORY:

- 4.1 Consent was granted for a change of use of retail units to 2 restaurant a3 unit & 2 retail units on 9 September 2005, planning reference 20/340/05/FU.
- 4.2 Consent was granted for an extension of time period for planning application 20/340/05/FU for a change of use of the retail units to 2 restaurants (class A3) and 2 retail units on 14 July 2010, planning reference 10/02300/LA.

5.0 HISTORY OF NEGOTIATIONS:

- 5.1 The proposals have been the subject of pre-application discussions between the Developers, their Architects, and Local Authority Officers since May 2017. These discussions have focused on the change of use, heritage matters, scale, massing and design.
- 5.2 The proposals were presented at preapplication stage at City Plans Panel on 29 March 2018. Members made the following comments:
- Members expressed the view that this was a very exciting development, a stepping stone for other premises to follow
 - There was a desire that the close working relationship with the Grand Theatre continued
 - It was the view of Members that the issues concerning the green bridge and bin storage areas be pursued
 - Members were supportive of the proposals for the shop fronts

- Members welcomed the proposals for the alleyway but more detail was required
- It was suggested that a Traffic Assessment was required with a view to relocating the existing bus stops
- Members were supportive of the principle of the restaurant use
- Members were supportive of the emerging scale, massing and design of the proposals
- Upon receipt of the Planning Application and Listed Building Consent the applications be brought back to Panel for further consideration.

6.0 PUBLIC/LOCAL RESPONSE:

6.1 Ward Members were consulted on 19 June 2018.

7.0 CONSULTATIONS RESPONSES

7.1 **Historic England** state that they provided the applicant with preapplication advice and that the scheme has been refined in accordance with the said guidance. As such they state that they are broadly supportive of the proposals which have been sensitively designed to respond to the historic and architectural special interest of the building. They state that opportunities have also been taken for bold new interventions in less sensitive areas with the new atrium with its prominent central service riser which will add new design interest to this part of the building. They state as follows:

“There are several matters relating to design, detailing and materials which will need to be agreed prior to determination in accordance with advice from your senior Conservation Officer. In particular, we draw attention to the treatment of the external brick walls that will become internal walls within the new glazed atrium. This is referred to as ‘perforated metal cladding’ on the proposed plans. Further detailed information to show the colour, finish and fixings of this should be provided and sample panels agreed with your Conservation Officer. Similarly, the treatment of the sun-burst windows and the historic tiles in the main entrance vestibule should be confirmed prior to determination. Further information may also be required on the form, materials and colour of the central service riser in order to adequately show the impact this will have on the atrium space.

Historic England supports the applications on heritage grounds.”

7.2 **Coal Authority** state that whilst the application site falls within the defined Development High Risk Area there is a low risk from the site to coal workings.

7.3 **Highways** state that bin storage capacity needs to be demonstrated and Planning Conditions are required for cycle parking, any footway diversions and reinstatements and the provision for contractors during construction.

7.4 **Flood Risk Management** state that the development would not result in any major changes to the existing surface water drainage of the site and as such they have no objections.

7.5 **Leeds Civic Trust** state that they support the proposals are pleased that proposed new rehearsal room is now to be above the Studios rather than Premier House.

They ask for clarity on the following:

The ultimate use and position of the sun-burst windows above the shop units.

Details of the central service riser proposed in the new atrium space

They also state that they approve of the concept of removing the internal bridge walls and replacing these with balustrades, so that people on the bridge can see

and be seen from the atrium; however full details are required to ensure that clear views are created rather than the current opaque walling.

- 7.6 **Theatres Trust** state that they support this proposal which seeks a number of alterations which will have a beneficial impact on the Grand Theatre and Opera North's operations and viability, enhances the overall character and appearance of the theatre and the adjacent Premier House as well as restores and activates the theatre's New Briggate elevation. They state that:
"...By bringing the vacant units along New Briggate in-house, the theatre is maximising its income potential by creating a more inviting food and beverage offer for patrons that has the benefit of a street-frontage thus encouraging in non-theatre goers. This will also help to increase activity and income for the theatre throughout the day rather than predominantly around performance times. This also has benefits for the vitality of New Briggate in line with the New Briggate Vision, also contributing towards the reduction in vacant units across the city centre....
There are also clear benefits for the sustainability and viability of the theatre by providing separate public accesses to the Grand Theatre and Howard Assembly Room thus allowing them to programme concurrent performances....We have no objections to the works to Premier House."

8.0 RELEVANT PLANNING POLICIES:

8.1 National Planning Policy Framework (NPPF)

- 8.2 The National Planning Policy Framework 2018 (NPPF) was revised and adopted in July 2018 and sets out Government's planning policies for England and how these should be applied. It provides a framework within which locally-prepared plans for housing and other development can be produced.
- 8.3 Paragraph 7 of the NPPF states that the purpose of the planning system is to contribute to the achievement of sustainable development. At a very high level, the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs.
- 8.4 Paragraph 16 of the NPPF sets out the Core Planning Principles for plan making and decision taking. Part b) states that plans should be prepared positively, in a way that is aspirational but deliverable/
- 8.5 Paragraph 38 of the NPPF states that Local planning authorities should approach decisions on proposed development in a positive and creative way. They should use the full range of planning tools available, including brownfield registers and permission in principle, and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible
- 8.6 Paragraph 39 of the NPPF states that early engagement has significant potential to improve the efficiency and effectiveness of the planning application system for all parties. Good quality pre-application discussion enables better coordination between public and private resources and improved outcomes for the community
- 8.7 Paragraph 85 of the NPPF states that Planning policies and decisions should support the role that town centres play at the heart of local communities, by taking a

positive approach to their growth, management and adaptation. Planning policies should:

d) allocate a range of suitable sites in town centres to meet the scale and type of development likely to be needed, looking at least ten years ahead. Meeting anticipated needs for retail, leisure, office and other main town centre uses over this period should not be compromised by limited site availability, so town centre boundaries should be kept under review where necessary;

- 8.8 Paragraph 124 of the NPPF states that the creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process
- 8.9 Paragraph 130 of the NPPF states that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents. Conversely, where the design of a development accords with clear expectations in plan policies, design should not be used by the decision-maker as a valid reason to object to development. Local planning authorities should also seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme (for example through changes to approved details such as the materials used).
- 8.10 Paragraph 193 of the NPPF states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.
- 8.11 Paragraph 194 of the NPPF states that any harm to, or loss of, the significance of a designated heritage (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:
- a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;
 - b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional⁶³.
- 8.12 Paragraph 195 of the NPPF states that where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:
- a) the nature of the heritage asset prevents all reasonable uses of the site; and
 - b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
 - c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and

d) the harm or loss is outweighed by the benefit of bringing the site back into use.

8.13 Paragraph 196 of the NPPF states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

8.14 The Development Plan for Leeds currently comprises the following documents:

1. The Leeds Core Strategy (Adopted November 2014)
2. Saved Leeds Unitary Development Plan Policies (Reviewed 2006), included as Appendix 1 of the Core Strategy
3. The Natural Resources & Waste Local Plan (NRWLP, Adopted January 2013) including revised policies Minerals 13 and 14 (Adopted September 2015).
4. Aire Valley Leeds Area Action Plan (Adopted November 2017)
5. Any Neighbourhood Plan, once made.

8.15 Core Strategy

8.16 The Core Strategy sets out strategic level policies and vision to guide the delivery of development investment decisions and the overall future of the district. Relevant

8.17 Policy P10: Design states that:

New development for buildings and spaces, and alterations to existing, should be based on a thorough contextual analysis to provide good design appropriate to its scale and function.

New development will be expected to deliver high quality innovative design that has evolved, where appropriate, through community consultation and which respects and enhances the variety of existing landscapes, streets, spaces and buildings according to the particular local distinctiveness and wider setting of the place, contributing positively towards place making and quality of life and be accessible to all.

8.18 Policy P11: Conservation states that development proposals will be expected to demonstrate a full understanding of historic assets affected. Heritage statements assessing the significance of assets, the impact of proposals and mitigation measures will be required to be submitted by developers to accompany development proposals.

8.19 Policy T2: Accessibility Requirements and New Development states that new development should be located in accessible locations that are adequately served by existing or programmed highways, by public transport and with safe and secure access for pedestrians, cyclists and people with impaired mobility.

8.20 Leeds Unitary Development Plan Review Retained Policies

Policy BD6 (All alterations)

Policy BD5 (All new buildings and amenity)

Policy GP5 (All planning considerations)

Policy N16 (Extensions to listed buildings)

Policy N17 (All listed buildings)

Policy N19 (New buildings and extensions within or adjacent to a conservation area)

8.21 Leeds Natural Resources and Waste DPD 2013

The Natural Resources and Waste Local Plan was adopted by Leeds City Council on 16th January 2013. The Natural Resources and Waste Development Plan Document (Local Plan) is part of the Local Development Framework. The plan sets out where land is needed to enable the City to manage resources, like minerals, energy, waste and water over the next 15 years, and identifies specific actions which will help use natural resources in a more efficient way as well as looking at tree loss and replacement via its specific Policy LAND2.

9.0 MAIN ISSUES

1. Principle of the proposed uses
2. The impact on the character and visual amenity of the host listed building and surrounding area
3. Sustainable transport
4. Community Infrastructure Levy

10.0 APPRAISAL

10.1 Principle of the proposed uses

10.2 The proposal involves a change of use of the existing A1 retail units to the ground floor of the Howard Assembly Rooms, to form one large A3 restaurant. The majority of the units have been vacant for a number of years with little interest from potential retail tenants. The emerging Site Allocation Plan City Centre Primary Shopping Frontage Area plans show this frontage to have no specific designation. This emerging plan is at stage where it can be given significant weight and as such Officers consider that the proposed change of use would not adversely affect the frontage or the ability of the wider City Centre to operate as a retail hub. It is considered that the proposed A3 restaurant use could add to the regeneration, vibrancy and vitality of both the daytime and evening economies of New Briggate and the wider City Centre.

10.3 The impact on the character and visual amenity of the host listed building and surrounding area

10.4 Although the Grand Theatre/Opera North and Premier House are a single site and are physically linked by a bridge, the works can be assessed in respect of their specific impact on the two parts of the site.

10.5 Grand Theatre/Opera North works

10.6 These works would affect the Grade II* Listed building and are focused on the demise of the building that is occupied by Opera North, as well as the shared service yard to the rear of the building. As such the Grand Theatre itself is unaltered by these proposed works.

10.7 **Basement**

The walls between the shop units will be removed, along with the floors and a new steel frame and floor structures provided, to create a kitchen, WCs and dining areas to serve the new restaurant use. In the theatre court, at the north end, a new lift shaft and a glazed curtain wall will be inserted and one doorway will be infilled. The removal of the walls will result in the loss of some historic fabric but in order to retain a sense of the original planform, some masonry nibs will be retained adjoining the New Briggate and atrium walls. The new downstand beams will be boxed out, along the original wall line, thereby maintaining evidence of the historic planform. With

regards to the brick infill to the theatre court doorway, this will be set back to retain evidence of the former opening.

10.8 **Ground Floor**

The gauged brick arches to the shopfronts on New Briggate will be restored for the new restaurant use. At No. 32, the modern draught lobby will be replaced with automatic opening doors for ease of access. These works will result in an enhancement to the principal elevation of the listed building. Internally, a new opening will be formed in the wall between Nos. 32 & 34 in order to provide an independent entrance to the Howard Assembly Room via the new atrium. This opening will result in the loss of a section of the tiled dado. In order to mitigate against the alteration, the tiling will be recorded and the tiles relocated elsewhere within the building. A possible location for the tiling is on the upper floor corridor, where some dado tiling remains within an area currently used as the cleaners store. Within Nos. 36, 38 & 40, the internal wall and floor will be removed to form a split level, open plan bar/restaurant which relates to both New Briggate and the new atrium level. The removal of the walls will result in loss of some historic fabric but in order to retain a sense of the original planform, some masonry nibs will be retained adjoining the New Briggate and atrium walls. The new downstand beams will be boxed out, along the original wall line, thereby maintaining evidence of the historic planform.

10.9 A number of new openings will be formed in the theatre court/atrium wall, to link the proposed bar/restaurant to the atrium and create a street-café experience. This will result in some changes to this secondary elevation but evidence of the previous pattern of openings will be partially retained in No. 36.

10.10. Within the atrium, a new floor will be inserted at the level of the existing bridge floor, along with a new lift shaft, stairs and central riser. The creation of an atrium within the theatre court will provide a more active frontage along Harrison Street and will enhance the appearance of an area of the building that is currently used as a service yard.

10.11 **Level 01**

Alterations are proposed at the north and south ends. This area is largely a modern construction and therefore the proposed alteration will not impact upon the special interest of the building. There is an opportunity to restore the tiled dado on the north wall of the cleaner's store/corridor at the southern end and this would enhance the appearance of this part of the building.

10.12 Within the atrium, perforated metal cladding will be fixed to the walls, and will be set around existing windows ensuring these remain useable. This cladding will be designed to screen the existing services within the courtyard and to provide a more contemporary feel to the atrium. The cladding will be a 'reversible' feature, and would be a modular system that would be removable in sections for maintenance reasons. Therefore this addition would not result in the loss of historic fabric.

10.13 **Level 02**

Alterations are proposed at the southern end to form a large store and to provide adequate fire compartmentation around the stair and link bridges. At the north end, the store rooms will be altered to form an accessible WC and new entrance from the atrium. The existing doorway to the Grand Theatre stair will be infilled but a link will be maintained via the Grand Hall. A new opening will be formed at the north end of the west wall of the atrium to create the new entrance and the existing (modern) opening in the centre of the wall be infilled with brickwork. At the north end of the

atrium the modern rendered wall to the Music Room will be removed to enable the new access and lift to be formed.

10.14 **Level 03**

The works at this level are primarily in the atrium with the new lift, access deck, service riser and cladding to east wall.

10.15 **Level 04**

The works at this level are primarily in the atrium with the new lift, access deck, service riser and cladding to east wall. In addition, some alterations are also proposed to the upper floor of the Theatre, adjoining the theatre court. The proposal is to remove a number of the modern partitions and suspended ceilings in order to create an open plan office and a board room. Two large openings will be formed in existing masonry walls and this approach will retain the legibility of the earlier planform.

10.16 It is considered that the level of alterations will lead to less than substantial harm to the significance of the designated Grade II* Listed heritage asset, and as such the proposals need to be justified in accordance with the considerations of Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 which states that decision makers should give considerable importance and weight to the desirability of preserving the setting of listed buildings. Case law has held that once harm to a listed building is established, considerable weight needs to be attached to that harm. The National Planning Policy Framework (NPPF) advises at paragraph 134 that where proposal would result in less than substantial harm then this harm needs to be weighed against the public benefits of the proposal, including securing its optimum viable use. Due to the view from Officers that there will be less than substantial harm, it is considered that paragraph 134 of the NPPF is applicable for this proposal.

10.17 The proposed demolitions would be largely internal and would be to parts of the host Grade II* Listed Building where the historic fabric has minimal architectural or historic detailing. In addition there are a number of public benefits to the scheme including:

1. Adding to the heritage led regeneration of the Grand Quarter
2. Enhancement of the new Briggate frontage returning it to a more historically relevant character, and enhancements to the service yard heritage frontages creating a heritage sensitive new intervention.
3. Creation of a publicly accessible area within the service yard
4. The reconfiguration of the spaces in the Assembly Room to make them more accessible and flexible for use
5. Allowing Opera North to make more effective use of their accommodation which in turn will allow them to programme more productions and shows
6. Bringing former retail units which have been vacant for a number of years back into viable use
7. New employment opportunities in the proposed restaurant

10.18 Premier House

10.19 It is considered that the proposed alterations to Premier House would be a suite of well designed, high quality alterations, which would enhance the character and visual amenity of the host building. The two storey extension has been well considered in respect of its massing and as such would not be visible from the wider area. The proposals would create a new high quality active frontage to Harrison

Street and as such the scheme would positively and visually uplift the back street environment of Harrison Street.

10.20 It is also the case that the proposed alterations have the potential to impact on the character and visual amenity of the Grand Quarter Conservation Area. As such the proposals again need to be justified in accordance with the considerations of Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 and paragraph 134 of the National Planning Policy Framework (NPPF). The said character is predominantly Victorian, with a high number of historic buildings still being evident and spaces and streets retaining the dimensions of the urban Victorian environment. However, it is the case that the proposed alterations would be largely internal and where they affect the exterior of the host building this would be to a rear wall facing onto what has historically been a service yard area. As a result Officers consider that the impact on the conservation would be neutral.

10.21 To address comments from Historic England and the Council's own specialist Conservation advice a number of conditions will be applied to the full and the listed building applications to cover the following details;

- Details of the design and construction, the materials, finishes and colours to all new elevations, roofing, flooring, screens, stairs, balustrades, bridges, doors and windows, the central service riser, any louvres, any glazing manifestations, new security gates, any roller shutters, brick arch, stone columns and lintels.

- 1.20 details of 1) Bridges, stairs and balustrades, 2) New window and door openings to the New Briggate façade and how they meet the existing building, 3) New window and door openings in the Harrison Street Premier House façade, 4) New internal floor and wall openings in the Listed Opera North demise, 5) The junctions between the atrium metal screen and the existing buildings, 6) The junctions of the new atrium roof and the existing buildings, 7) The junctions of the new central service riser and the existing buildings, 8) Brick arch, stone columns and lintels (including profile information).

- Reuse of the existing art deco glazed panels to the New Briggate façade.

- Reuse of the existing historic encaustic tiles to the interior of the existing entrance lobby.

- The methodology and sample panels for works proposed to the atrium brickwork including details of repointing, cleaning, and any brick replacement.

- A schedule of the existing stained glass windows to the atrium.

10.22 Sustainable transport

10.23 The submitted Transport Statement indicates the accessibility of the site to the City Centre and public transport links. As such no new car parking is proposed as part of the development. The current service yard into which the new feature atrium is proposed provides parking for the theatre's servicing vehicles. Due to the atrium being raised up above the ground floor level, this service yard facilities will be retained below the atrium, where it will not be visible for the new level above.

10.24 New access controlled cycle parking for 10 bicycles is proposed. Full details of this provision and how it will be accessed will be required under a Planning Condition. The scheme falls below the threshold at which a Travel Plan would be required.

10.25 Community Infrastructure Levy

10.26 The development is Community Infrastructure Levy (CIL) liable and is estimated to be in the region of £4774.40. CIL is generally payable on the commencement of development. The payment of CIL is not material to the determination of the

planning application. Accordingly, this information is presented simply for Members information.

10.27 Other Matters

Leeds Civic Trust raised a number of comments in paragraph 7.5 asking for clarity on the ultimate use, the position of the sun-burst windows above the shop units, details of the central service riser proposed in the new atrium space and full details of the bridges. The Applicant has provided the following responses:

"We are yet fully determine the exact position and use. Until a restaurant operator, and an interior fit out design for the shop units has been finalised, we are unable to confirm the exact details".

Officer comment: This matter will be the subject of a Planning Condition.

"We are currently working up the detail off this element in 3D with visuals and an animated sequence. There is a lot of detailed coordinated required to integrate the M&E services within this feature which is being worked through as part of the technical design beyond the planning submission. Once we have agreed the detail with Opera North, and the design team, we will be delighted to share the final proposals with Leeds Civic Trust and LCC Planning".

Officer comment: This matter will be the subject of a Planning Condition.

"The comments notes are noted. However, the project budget does not extend to replacing the cast glass plank façade. The existing façade will be cleaned as part of the works. The façade will remain as opaque"

11.0 CONCLUSION

- 11.1 In conclusion it is considered that the proposals are for an appropriate use and of a complementary scale, design and style for this important heritage site. The scheme would allow under used areas of important listed and non-listed buildings to be brought back into active use, to the benefit of the functioning of the Howard Assembly Rooms and the adjacent Grand Theatre. The design of the two storey extension to the modern building at Premier House would be a high quality, contemporary addition which would sit comfortably within the context of the neighbouring listed building, street scene and this part of the City Centre Conservation Area. Therefore the proposal is in accordance with the Development Plan and is considered to be acceptable and is recommended for approval, subject to the conditions set out in Appendix 1 and the planning obligations set out at the head of this report.

Background Papers:

PREAPP/17/00353

18/02735/FU

18/02736/LI

Appendix 1 – Draft Conditions List

18/02736/LI

1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Imposed pursuant to the provisions of Section 18 of the Planning (Listed Building and Conservation Areas) Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2) The development hereby permitted shall be carried out in accordance with the approved plans listed in the Plans Schedule.

For the avoidance of doubt and in the interests of proper planning.

3) Notwithstanding the details on the hereby approved plans, prior to the commencement of development details of the design and construction details, the materials, finishes and colours to all new elevations, roofing, flooring, screens, stairs, balustrades, bridges, doors and windows, the central service riser, any louvres, any glazing manifestations, new security gates, any roller shutters, brick arch, stone columns and lintels shall be submitted to and approved in writing by the Local Planning Authority. The new elevations, roofing, flooring, screens, stairs, balustrades, bridges, doors, windows, central service riser, any louvres, any glazing manifestations, new security gates, any roller shutters, brick arch, stone columns and lintels shall be installed in accordance with the approved details.

In the interest of the character and visual amenity of the host listed building and the wider City Centre Conservation Area.

4) Prior to commencement of development detailed 1:20 scale working drawings, cross sections and construction details of the following shall be submitted to and approved in writing by the Local Planning Authority.

- 1) Bridges, stairs and balustrades
- 2) New window and door openings to the New Briggate façade and how they meet the existing building
- 3) New window and door openings in the Harrison Street Premier House façade
- 4) New internal floor and wall openings in the Listed Opera North demise
- 5) The junctions between the atrium metal screen and the existing buildings
- 6) The junctions of the new atrium roof and the existing buildings
- 7) The junctions of the new central service riser and the existing buildings
- 8) Brick arch, stone columns and lintels (including profile information)

Works shall be carried out in accordance with the approved drawings and maintained as such thereafter

5) Notwithstanding the details on the hereby approved plans, the existing art deco glazed panels to the New Briggate façade shall be recorded prior to careful removal and shall

be reused, as a feature, within the development. Prior to their reinstallation the details of the location and nature of the reuse of the saved art deco glazed panels shall be submitted to and approved in writing by the Local Planning Authority. The art deco glazed panels shall be reused in accordance with the approved details.

In the interest of the character and visual amenity of the host listed building and to ensure these important historic features are retained and displayed.

6) Notwithstanding the details on the hereby approved plans, the existing historic encaustic tiles to the interior of the existing entrance lobby shall be recorded prior to careful removal to be reused, as a feature, within the development. Prior to their reinstallation the details of the location and nature of the reuse of the saved existing historic encaustic tiles shall be submitted to and approved in writing by the Local Planning Authority. The existing historic encaustic tiles shall be reused in accordance with the approved details.

In the interest of the character and visual amenity of the host listed building and to ensure these important historic features are retained and displayed.

Plans

7) No external lighting shall be installed unless a scheme has previously been approved in writing by the Local Planning Authority. The scheme shall be installed and retained thereafter in accordance with the approved details.

In the interests of amenity and highway safety.

8) Prior to works commencing on site details of the methodology and sample panels for works proposed to the atrium brickwork including details of repointing, cleaning, and any brick replacement shall be submitted to and agreed in writing by the Local Planning Authority. The works shall be carried out in accordance with the agreed details.

In the interest of the amenity of the listed building.

9) Prior to works commencing on site a schedule shall be submitted which shall consider the existing stained glass windows to the atrium. This shall state whether each window is to be repaired or replaced. If repaired the method of repair is to be detailed and if replaced sections and elevations of the new frame are to be submitted. The installation of any secondary double glazing shall also be detailed and shall include sections and elevations and the method of fitting to the existing window reveals. All repairs, replacements and additions shall then be carried out in accordance with the approved schedule.

In order to ensure that the window treatments are sympathetic to the character of the listed building.

18/02735/FU

1) The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Imposed pursuant to the provisions of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2) The development hereby permitted shall be carried out in accordance with the approved plans listed in the Plans Schedule.

For the avoidance of doubt and in the interests of proper planning.

3) Notwithstanding the details on the hereby approved plans, prior to the commencement of development details of the design and construction details, the materials, finishes and colours to all new elevations, roofing, flooring, screens, stairs, balustrades, bridges, doors and windows, the central service riser, any louvres, any glazing manifestations, new security gates, any roller shutters, brick arch, stone columns and lintels shall be submitted to and approved in writing by the Local Planning Authority. The new elevations, roofing, flooring, screens, stairs, balustrades, bridges, doors, windows, central service riser, any louvres, any glazing manifestations, new security gates, any roller shutters, brick arch, stone columns and lintels shall be installed in accordance with the approved details.

In the interest of the character and visual amenity of the host listed building and the wider City Centre Conservation Area.

4) Prior to commencement of development detailed 1:20 scale working drawings of the following shall be submitted to and approved in writing by the Local Planning Authority.

- 1) New window and door openings to the New Briggate façade
- 2) New window and door openings in the Harrison Street Premier House façade
- 3) The junctions between the atrium metal screen and the existing buildings
- 4) The junctions of the new atrium roof and the existing buildings
- 5) The junctions of the new central service riser and the existing buildings

Works shall be carried out in accordance with the approved drawings and maintained as such thereafter

5) The approved Phase I Desk Study report indicates that a Phase II Site Investigation is necessary, and therefore development shall not commence until a Phase II Site Investigation Report has been submitted to, and approved in writing by, the Local Planning Authority.

Where remediation measures are shown to be necessary in the Phase II Report and/or where soil or soil forming material is being imported to site, development shall not commence until a Remediation Statement demonstrating how the site will be made suitable for the intended use has been submitted to, and approved in writing by, the Local Planning Authority. The Remediation Statement shall include a programme for all works and for the provision of Verification Reports.

To ensure that the presence of contamination is identified, risks assessed and proposed remediation works are agreed in order to make the site 'suitable for use'.

6) If remediation is unable to proceed in accordance with the approved Remediation Statement, or where significant unexpected contamination is encountered, the Local Planning Authority shall be notified in writing immediately and operations on the affected part of the site shall cease. An amended or new Remediation Statement shall be submitted to, and approved in writing by, the Local Planning Authority prior to any further remediation works which shall thereafter be carried out in accordance with the revised approved Statement.

To ensure that any necessary remediation works are identified to make the site suitable for use.

7) Remediation works shall be carried out in accordance with the approved Remediation Statement. On completion of those works, the Verification Report(s) shall be submitted to the Local Planning Authority in accordance with the approved programme. The site or phase of a site shall not be brought into use until such time as all verification information has been approved in writing by the Local Planning Authority.

To ensure that the remediation works are fully implemented as agreed and the site has been demonstrated to be suitable for use.

8) Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, public open space or for filling and level raising shall be tested for contamination and suitability for use. A methodology for testing these soils shall be submitted to, and approved in writing by, the Local Planning Authority prior to these materials being imported onto site. The methodology shall include information on the source of the materials, sampling frequency, testing schedules and criteria against which the analytical results will be assessed (as determined by risk assessment). Testing shall then be carried out in accordance with the approved methodology. Relevant evidence and verification information (for example, laboratory certificates) shall be submitted to, and approved in writing by, the Local Planning Authority prior to these materials being imported onto the site.

To ensure that contaminated soils are not imported to the site and that the development shall be suitable for use.

9) No development shall take place until a scheme detailing the method of storage and disposal of litter and waste materials, including recycling facilities, has been submitted to and approved in writing by the Local Planning Authority. The details shall include a description of the facilities to be provided including, where appropriate, lockable containers, details of recyclable materials collection with timescales. The approved scheme shall be implemented before the development is brought into use and no waste or litter shall be stored or disposed other than in accordance with the approved scheme.

In the interests of residential amenity and to promote recycling.

10) Any soil or soil forming materials brought to site for use in garden areas, soft landscaping, public open space or for filling and level raising shall be tested for contamination and suitability for use. A methodology for testing these soils shall be

submitted to, and approved in writing by, the Local Planning Authority prior to these materials being imported onto site. The methodology shall include information on the source of the materials, sampling frequency, testing schedules and criteria against which the analytical results will be assessed (as determined by risk assessment). Testing shall then be carried out in accordance with the approved methodology. Relevant evidence and verification information (for example, laboratory certificates) shall be submitted to, and approved in writing by, the Local Planning Authority prior to these materials being imported onto the site.

To ensure that contaminated soils are not imported to the site and that the development shall be suitable for use.

11) Development shall not commence until details of access, storage, parking, loading and unloading of all contractors' plant, equipment, materials and vehicles (including workforce parking) have been submitted to and approved in writing by the Local Planning Authority.

The approved facilities shall be provided for the duration of construction works.

To ensure the free and safe use of the highway.

12) Notwithstanding the approved details, before development is commenced full details of cycle/motorcycle parking and facilities shall be submitted to and approved in writing by the Local Planning Authority. The development shall not be occupied until the approved cycle/motorcycle parking and facilities have been provided. The facilities shall thereafter be retained for the lifetime of the development.

In the interests of highway safety.

13) Prior to the commencement of the development the applicant will submit for approval by the Local Planning Authority construction details of the proposed footway crossings [and/or reinstatement to full height footway of any redundant existing crossings] along the site frontage. The crossings [and/or reinstatements] must be constructed in accordance with the approved details and be fully implemented prior to the first occupation of the development to the satisfaction of the Local Planning Authority.

In the interests of highway safety.

14) No development shall take place until a Training and Employment Plan has been submitted to and approved in writing by the Local Planning Authority. The plan shall set out how the developer will co-operate with Employment Leeds in order to promote training and employment opportunities for local people from the start of the tendering process for the construction of the development, throughout the period when the hereby approved development is under construction and the future occupation and shall include:

- measures to ensure the developer, contractors and sub-contractors work directly with Employment Leeds and other local employment and training agencies to promote local labour.
- a method statement for the purpose of facilitating the appointment of contractors and sub-contractors and local people in the construction works with an estimated target for local job opportunities, including a timetable of proposed works.
- a method statement identifying the number and types of employment and training opportunities that can be accessed by Local People within the development.

- measures to provide training opportunities in respect of any new jobs.
- full details of how information about the recruitment and retention of local people as employees within the development and the training in place for apprentices and the existing workforce is to be reported to Employment Leeds.
- details of any employment vacancies that are created within the development will be promoted via Employment Leeds.

The measures identified shall be implemented in accordance with the approved plan.

To ensure residents are able to access local job opportunities in accordance with adopted Core Strategy (2014) policy SP8.

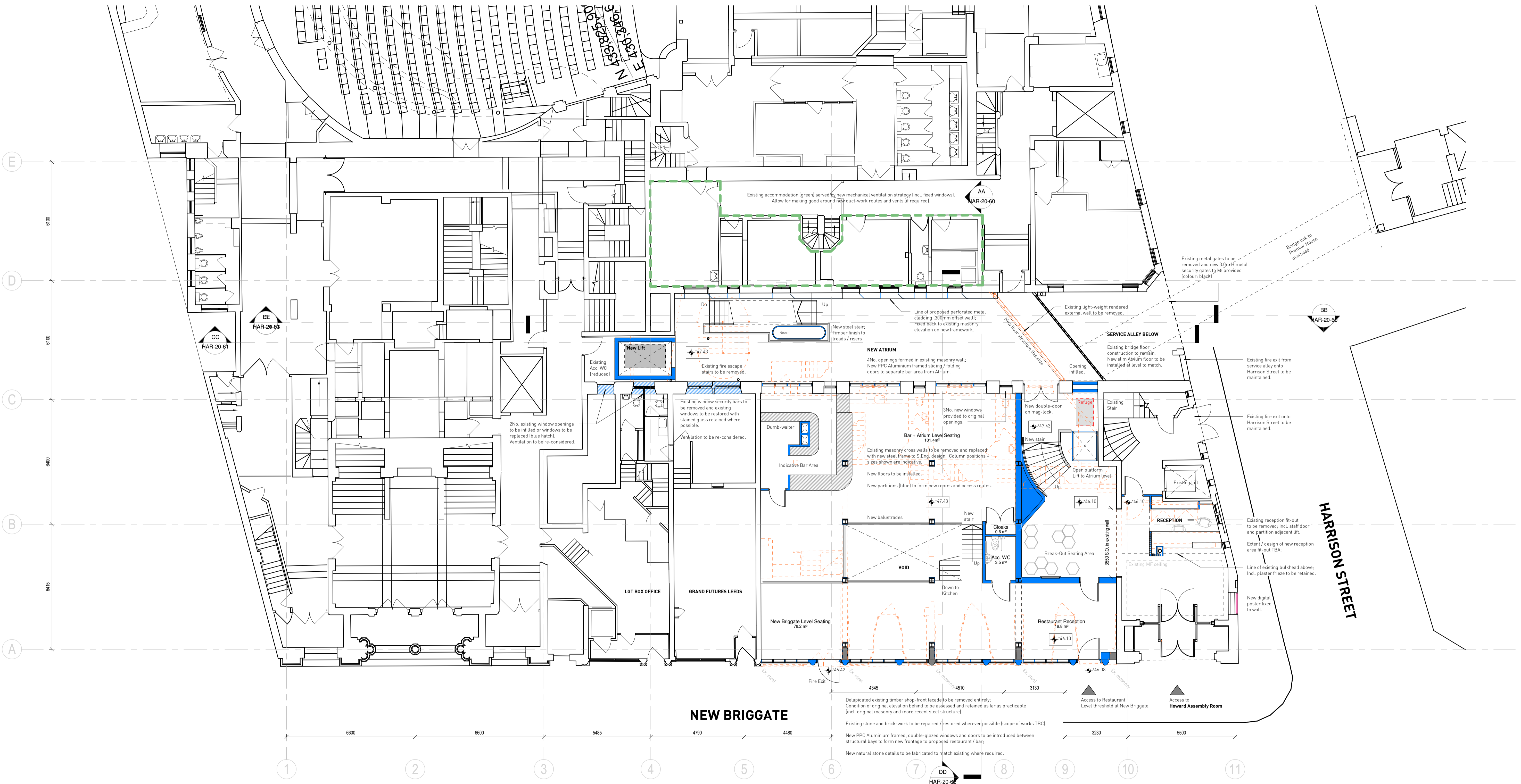
15) No external lighting shall be installed unless a scheme has previously been approved in writing by the Local Planning Authority. The scheme shall be installed and retained thereafter in accordance with the approved details.

In the interests of amenity and highway safety.

16) Details of any external extract ventilation system shall be submitted to and approved in writing by the Local Planning Authority prior to its installation and the system shall be installed and maintained in accordance with the approved details.

In the interests of visual and residential amenity.

Hot food uses will often require an extract ventilation system to deal with odour and fumes. Guidance on suitable design is provided in DEFRA guidance at:
<http://www.defra.gov.uk/publications/files/pb10527-kitchen-exhaust-0105.pdf>



Howard Assembly Room Main Entrance + Restaurant (+46.10)

- 00 Series General Arrangement Notes**
- Any areas indicated on the plans are approximate. They relate to the likely areas of the building at the current state of the design and are calculated using the stated eg(NIA) method from the Code of Measuring Practice 5th Edition RICS/BSVA. Any decision to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements or the like, should include due allowance for design development and building tolerances. Floor areas are subject to Planning, Building Control and other statutory approvals.
 - Any structural, services or fit out detail shown is for coordination only, refer to relevant Consultants/Clients information for details.
 - Refer to Enjoy NBS for full outline performance specification of Architectural Elements.
 - THE CONTENT OF THIS DRAWING IS FOR DESIGN INTENT AND REQUIRES FURTHER DESIGN DEVELOPMENT AND COORDINATION WITH ALL RELEVANT CONSULTANTS, SUB-CONTRACTORS, SPECIALIST DESIGNERS AND STATUTORY AUTHORITIES.

Notes.

Notional bar / restaurant use is subject to shell and core works only; indicative layout subject to change. Life-saving alarm systems, incl. detection, lighting and sounders to be provided. Refer to further information provided by M+E engineer and the proposed fire strategy.

GA LEGEND

- Existing building fabric
- Demolition / Clearance works
- New construction
- Existing floor level
- Proposed floor level

1 : 100

Contractor must verify all dimensions on site before commencing any work or shop drawings. If this drawing exceeds the quantities taken in any way the Architects are to be informed before the work is initiated. Only figured dimensions to be taken from this drawing. Do not scale off this drawing. Drawings based on Ordnance Survey and / or existing record drawings - design and drawing content subject to Site Survey, Structural Survey, Site Investigations, Planning and Statutory Requirements and Approvals. Authorised reproduction from Ordnance Survey Map with permission of the Controller of Her Majesty's Stationery Office. Crown Copyright reserved. Enjoy Design Ltd.

Rev.	Des.	By	Date	Ch.	Status:
F	Stage 4 amendments.	JNR	14.06.18	RG	
E	Curtains BIM updated. Atrium level changes implemented.	JNR	17.05.18	RG	
D	Stage 3 co-ordination updates. Issued for Planning App.	JNR	17.04.18	RG	
C	Atrium service riser size amended at this level.	JNR	09.04.18	RG	
B	Curtains BIM imported. Partitions and doors added to support fire strategy. Atrium service riser amended. Atrium screen depth reduced; main stair shifted to suit.	JNR	05.04.18	RG	
A	Replacement security gates to service alley	JNR	28.03.18	RG	

INFORMATION

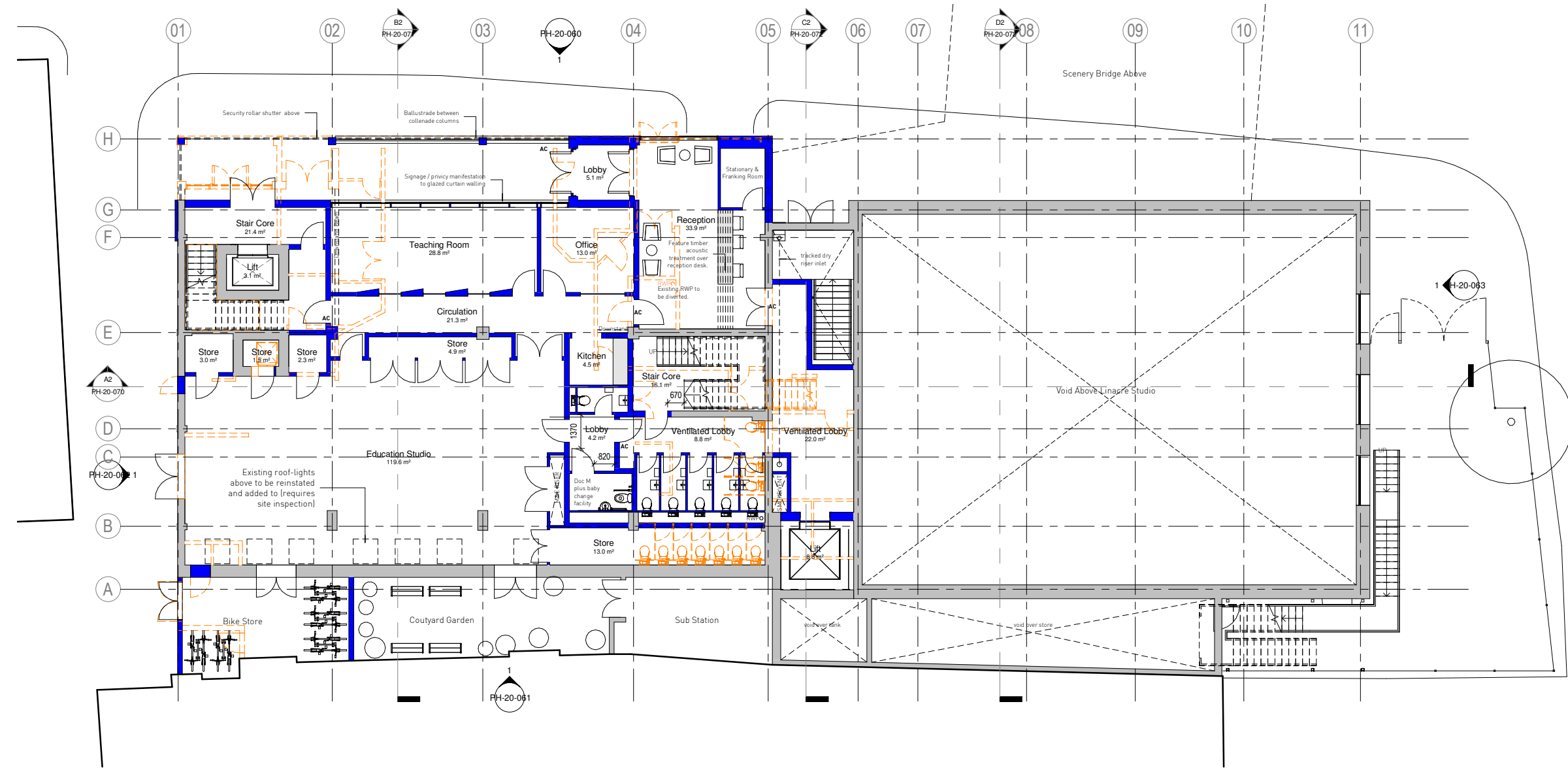
The Old Brewery High Court Leeds LS2 7ES
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Client:	Opera North	Job No:	16007
Project:	Howard Assembly Room / Leeds Grand Theatre		
Title:	General Arrangement - HAR Main Entrance, Restaurant + Atrium	Checked by:	RG
Date:	03/16/18	Scale:	1 : 1000A1
Drawing No:	HAR-20-41	Drawn By:	JNR
		Revision:	F



00 Series General Arrangement Notes

- Any areas indicated on the plans are approximate. They relate to the likely areas of the building at the current state of the design and are calculated using the stated egnNAI method from the Code of Measuring Practice 5th Edition RICS/GVA. Any decision to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements or the like, should include due allowance for design development and building tolerances. Floor areas are subject to Planning, Building Control and other statutory approvals.
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Proposed Ground Floor General Arrangement
1: 100

Notes.

1: 100

Contractor must verify all dimensions on site before commencing any work or shop drawings. If this drawing exceeds the quantities taken in any way the Architects are to be informed before the work is initiated. Only figured dimensions to be taken from this drawing. Do not scale off this drawing. Drawings based on Ordnance Survey and / or existing record drawings - design and drawing content subject to Site Survey, Structural Survey, Site Investigations, Planning and Statutory Requirements and Approvals. Authorised reproduction from Ordnance Survey Map with permission of the Controller of Her Majesty's Stationery Office. Crown Copyright reserved. Enjoy Design Ltd.

GA Colour Key

- Existing
- Demolished
- Demolished

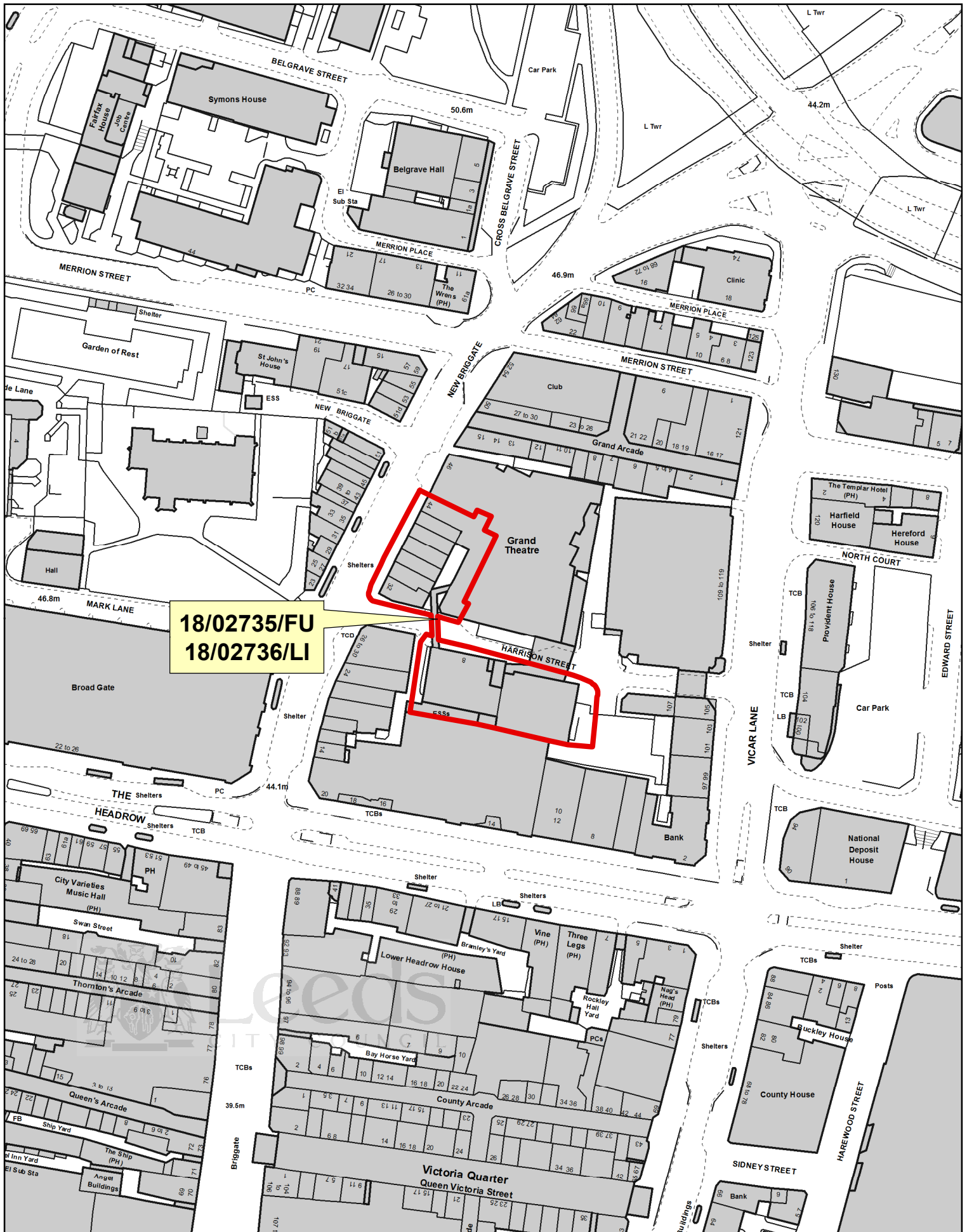
C	Design update	MDGP	09.07.18	RG
B	Planning Issue	MDGP	24.04.18	RG
A	M&E, Structure & Fire Consultants Coordination	MDGP	06.04.18	RG
Rev.	Des.	By	Date	Ch.

INFORMATION

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Client:	Opera North	Job No:	16007
Project:	Premier House		
Title:	Proposed Ground Floor GA Plan		
Date:	03/16/18	Scale:	1 : 100 (A1)
Checked by:	RG	Drawn By:	MDGP
Revision:	C		





18/02735/FU
18/02736/LI

CITY PLANS PANEL

